

Inspection Report

Provided by:



Millertime Home Inspections

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Property Address

100 ABC Avenue Tampa FL 33626



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Report Information

Client Information

Client Name John Doe

Client Phone

Property Information

Approximate Year Built 2019
Approximate Square Footage 2,667
Number of Bedroom 4
Number of Bath 4
Direction House Faces Southeast

Inspection Information

Inspection Date 4/5/2024
Inspection Time 10:30 AM
Weather Conditions Dry.
Outside Temperature 75
Price for Inspection \$450.

Millertime Home Inspection Inspection Agreement -

WITHIN THE SCOPE OF THE INSPECTION

The scope of this inspection and report is limited to a visual inspection of the systems and components as listed below, in order to identify those, if any, which may need replacement or repair. See Standards of Practice for a detailed description of the scope of inspection.

Exterior:Landscaping, Retaining Walls, Gutters, Downspouts, Sidewalks and Driveways (both the condition of and as they affect foundation drainage,) Roof, Chimney, Flashing, and Valleys, (for evidence of water penetration and a description of materials,) Siding, Fascia, Soffit, Walls, Windows, Doors, Foundation, Attached Porches/ Decks/ Balconies/ Patios/ Garages (both structural and condition of.)

Interior:Plumbing System: Water Supply/Drains/Vents/Water Heaters/Fixtures, and Locating (But Not Testing) Shut Off Valves; Electrical System: Service Drop, Service Panel, Ground Wire, GFCI Plugs, Switches, Receptacles, Installed Fixtures, and Smoke Detectors; Heating/Cooling System: Permanent Systems, Operating Controls/Filters/Ducts, Insulation, Vapor Barrier, and Ventilation; Bathrooms/Kitchen/Other Rooms: Doors/Windows/Walls/Floors (as to general condition), Cabinets, Counter tops, and Installed Fixtures; Structure: Ceilings/Walls/Floors, Stairs/Basements/Attic/Crawl Spaces (if readily accessible)(as to evidence of water damage and general condition.) - The scope of the inspection is limited to the description and the general

condition of the above systems.

OUTSIDE THE SCOPE OF THE INSPECTION

-Any area which is not exposed to view or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, lack of access or crawl spaces or any major system (water or electrical systems, heating system, or air conditioner) that is not currently functional is not included in this inspection. -The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection. This is not a home warranty, guarantee, insurance policy, or substitute for real estate disclosures which may be required by law. Whether or not they are concealed, the following are outside the scope of the inspection;

- Building code or zoning ordinance violations - Thermostatic or time clock controls or Low Voltage wiring systems - Geological stability or soils conditions - Water softener or water purifier systems or solar heating systems - Structural stability or engineering analysis - Saunas, steam baths, or fixtures and equipment - Building value appraisal or cost estimates - Pools or spa bodies or sprinkler systems and underground piping - Radio-controlled devices, automatic gates, elevators, lifts, and dumbwaiters - Furnace heat exchanger, freestanding appliances, security alarms or personal property - Specific components noted as being excluded on the individual system inspection form - Adequacy or efficiency of any system or component - Prediction of life expectancy of any item. - The Inspector is a home inspection generalist and is not acting as an engineer or expert in any craft or trade. If the Inspector recommends consulting other specialized experts, Clients do so at Client's expense.

CONFIDENTIAL REPORT

- The written report to be prepared by the Inspector shall be considered the final and exclusive findings of the Inspector/Inspection Company regarding the home inspection at the Inspection Address. The inspection report to be prepared for the Client is solely and exclusively for the Client's own information and may not be relied upon by any other person. Client agrees to maintain the confidentiality of the inspection report and agrees not to disclose any part of it to any other person with the exception of the seller and/or the real estate agents directly involved in this transaction. Client(s) or the inspector may distribute copies of the inspection report to the seller and real estate agents directly involved in this transaction, but neither the seller nor the real estate agent are intended beneficiaries of this Agreement or the inspection report. Client agrees to indemnify, defend, and hold the Inspector/inspection Company harmless from any third party claims arising out of the Client's or Inspectors distribution of the inspection report.

DISPUTES

- Client understands and agrees that the Inspector/Inspection Company is not an insurer, that the price paid for the subject inspection and report is based solely on the service provided. Client also agrees that any claim of failure in the accuracy of the report shall be reported to the Inspector/Inspection Company within five business days of discovery and that failure to notify the inspector within that time period shall constitute a waiver of any and all claims. The Inspector/Inspection Company shall have five business days to respond to the claim. If the Inspector/Inspection Company fails to satisfy the claim, liability shall be limited to a refund of the price paid for the Inspection and Report.

Definition of conditions:

AS = Appears Serviceable: The item appeared to be in working or usable condition with no major discrepancies noted.

R = Repair: The item was at or near the end of its useful lifespan. A certified professional should be contacted for further evaluation and repair.

S = Safety Issue: The item is considered a safety hazard and can cause harm to people or property. These items need to be repaired as soon as possible.

NI = Not Inspected: The item was not inspected during the inspection.

Report Summary Page

At the time of inspection all major components of the home tested and operated satisfactorily. All bathrooms faucet's, toilets and tub/showers were tested simultaneously and water pressure was good. Electrical. HVAC, Roof and Plumbing were operating satisfactorily at time of inspection. This is only a summary of the inspection report and is not a complete list of discrepancies.

1 Grounds

Grading

Grading Slope The site is slightly sloped.



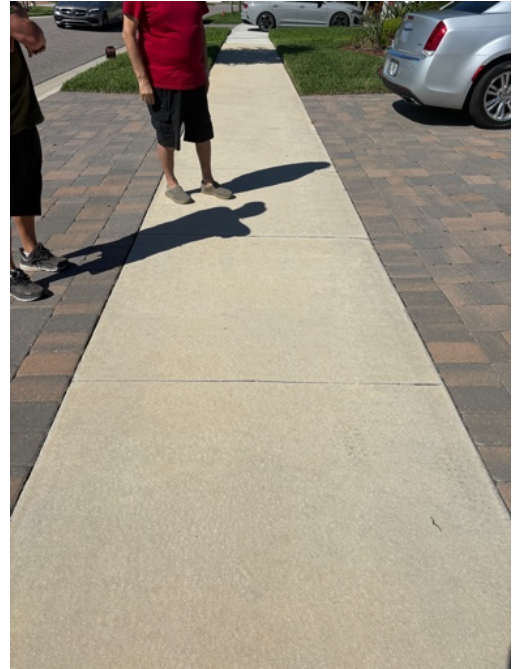
1.1) Grading Conditions

AS

Grading of the soil near the foundation appears to be in serviceable condition.

Driveways - Sidewalks - Walkways

Driveway Material Concrete Pavers.



1.2) Driveway Conditions

AS

The driveway appeared to be in serviceable condition at the time of the inspection.

Sidewalk Material Concrete.



1.3) Sidewalk Conditions

AS

The visible areas of the sidewalk appeared to be in serviceable condition at the time of the inspection.

Retaining Wall

Retaining Wall Material Brick.

1.4) Retaining Wall Conditions

AS

The visible and accessible portions of the retaining walls appeared to be in serviceable condition at the time of the inspection.

2 Exterior

Front - Back Entrance

Front Entrance Type Covered Porch.



2.1) Front Entrance Conditions

AS

The visible and accessible areas of the porch appeared to be in serviceable condition at the time of the inspection.

Back Entrance Type Rear entrance Lanai and pool

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



2.2) Back Entrance Conditions

AS

The visible portions of the patio appeared to be in serviceable condition at the time of the inspection.



Exterior Walls

Structure Type Concrete Block.

Exterior Wall Covering The visible and accessible areas of the exterior siding material are

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

stucco.



2.3) Exterior Wall Conditions

AS

The visible and accessible portions of the exterior wall coverings appeared to be in serviceable condition at the time of the inspection.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Exterior Windows - Doors

Window Type Double Hung.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Window Material Vinyl.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



2.4) Window Conditions

AS

Appears Serviceable.

2.5) Exterior Door Conditions

AS

The door(s) appeared to be in serviceable condition at the time of the inspection.

Exterior Water Faucet(s)

Faucet Location Both sides of the home

2.6) Faucet Conditions

AS

The hose faucets appeared to be in satisfactory condition at the time of the inspection.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3 Roofing

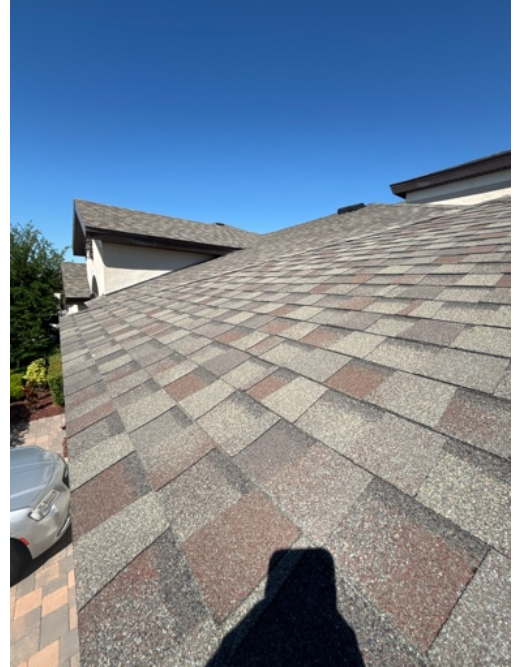
Roof Covering

Method of Inspection

The roof was inspected by observing from a ladder placed at the edge of the roof.

Roof Style

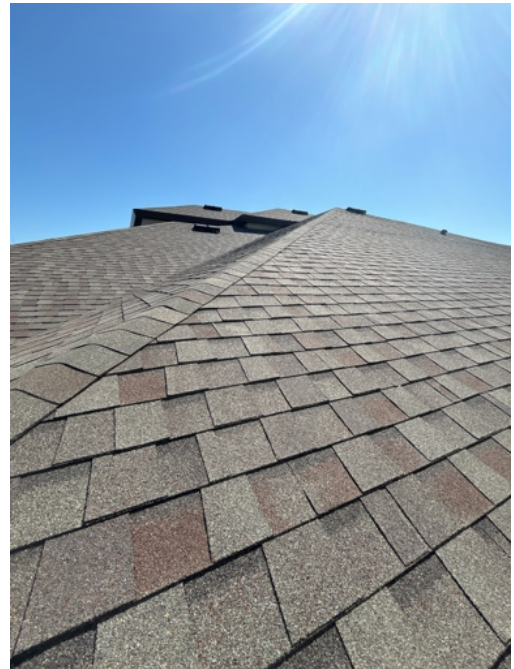
Combination of gable and hip.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Roof Covering Material Asphalt composition shingles.



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Number of Layers One.

3.1) Roof Covering Condition AS

The roof covering shows normal wear for its age and appeared to be in serviceable condition at the time of the inspection.

3.2) Flashing Conditions AS

The exposed flashings appeared to be in serviceable condition at the time of inspection.



3.3) Gutter & Downspout Conditions AS

The property has a no gutter system installed. Recommend adding gutters and downspouts where needed. Water seepage into crawl spaces, basements and under foundations are primarily caused by inadequate removal of rainwater from the perimeter of the house.

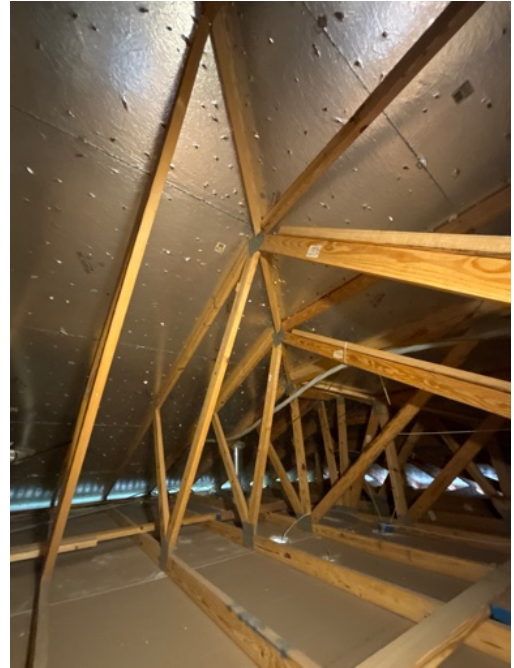
Attic Area

- Attic Access** Garage. And upstairs main room
- Method of Inspection** Entered attic area.
- Roof Frame Type** The roof framing is constructed with truss framing.

3.4) Attic Conditions AS

The visible and accessible portions of the attic appeared to be in serviceable condition at the time of the inspection.

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Attic Ventilation Type Ridge Vents and soffit vents

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3.5) Attic Ventilation Conditions

AS

The ventilation in the attic appeared to be adequate.

Attic Insulation Type Loose fill.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3.6) Attic Insulation Conditions

AS

The attic has blown-in insulation. The approximate depth of the insulation is 10+ inches, which appears adequate.

4 Heating - Air

Heating

Location of Unit

Upstairs utility closet





Heating Type Forced Air.

Energy Source Electric.

Approximate BTU Rating

4.1) Unit Conditions AS

The heating system was operational at time of inspection. This is not an indication of future operation or condition.

Distribution Type The visible areas of the heat distribution system is ductwork with registers.

4.2) Distribution Conditions AS

The visible and accessible areas of the distribution system appeared to be in serviceable condition at the time of inspection.

4.3) Ventilation Conditions AS

The visible and accessible portion of the venting flue appeared to be in serviceable condition at the time of the inspection.

4.4) Thermostat Condition AS

The normal operating controls appeared to be serviceable at the time of the inspection.

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AC Unit Power 240V.

4.5) AC Unit Conditions

AS

Appears Serviceable.

5 Electrical

Service Drop - Weatherhead

Electrical Service Type The electrical service is underground.

Electrical Service Material Copper.

Number of Conductors Three.

5.1) Electrical Service Conditions

AS

The main service entry appeared to be in serviceable condition at the time of inspection.

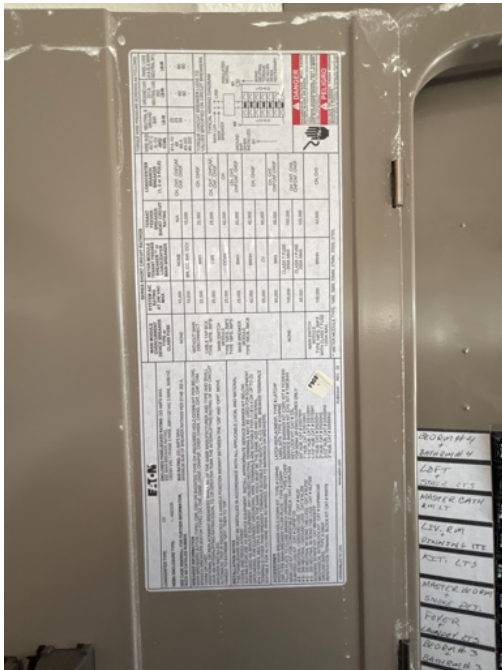
Main Electrical Panel

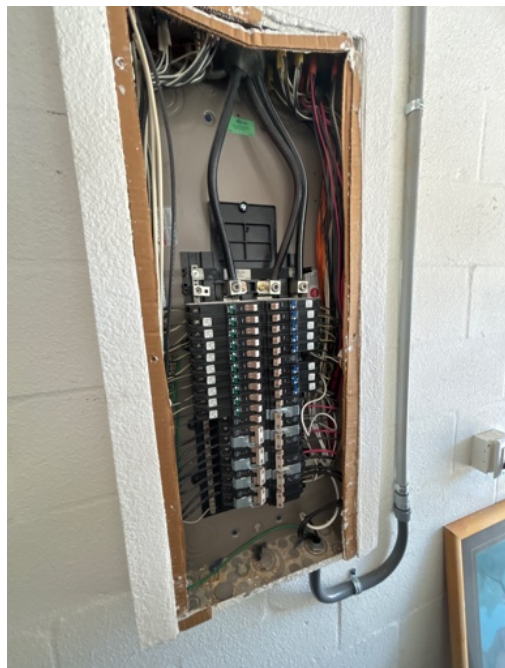
Main Disconnect Location Outside at service box



Electric Panel Location The main electric panel is located at the garage.

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Panel Amperage Rating 200

Circuit Protection Type Breakers.

5.2) Wiring Methods AS

The main power cable is copper. The branch cables are copper.

5.3) Electrical Panel Conditions AS

The main panel appeared to be in serviceable condition at the time of the inspection.

Electrical Subpanel

Subpanel Location Outside at service panel

5.4) Subpanel Conditions AS

The sub panel appeared to be in serviceable condition at the time of inspection.

6 Plumbing

Water Main Line

Main Shutoff Location outside in lawn near road



Main Line Material The visible material of the main line / pipe appears to be plastic.

6.1) Main Line & Valve Conditions AS

The visible portion of the main pipe and valve appeared to be in serviceable condition at the time of the inspection.

Water Supply Lines

Supply Line Material The visible material used for the supply lines is plastic.

6.2) Supply Line Conditions AS

The visible portions of the supply lines appeared to be in serviceable condition at the time of inspection. All of the supply lines were not fully visible or accessible at the time of the inspection.

Water Heater(s)

Water Heater Type Electric.

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Water Heater Location Garage.

Water Heater Capacity 50 Gallon.

6.3) Water Heater Conditions AS

The water heater was operable at the time of inspection. This does not however guarantee future performance, operation, or condition.

7 Interiors

Walls - Ceilings - Floors

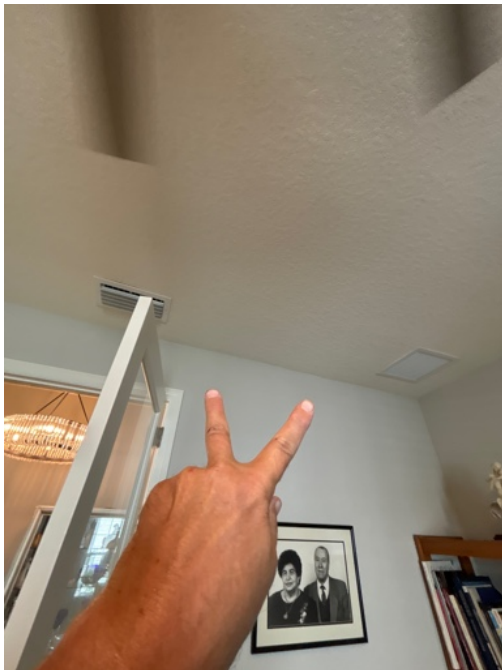
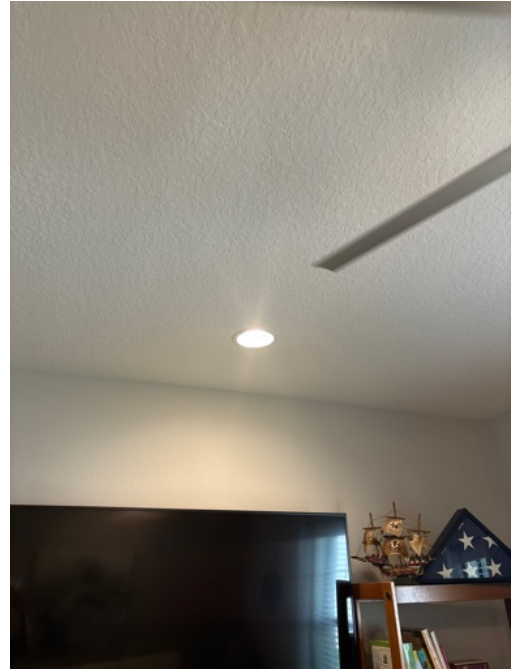
7.1) Wall Conditions

AS

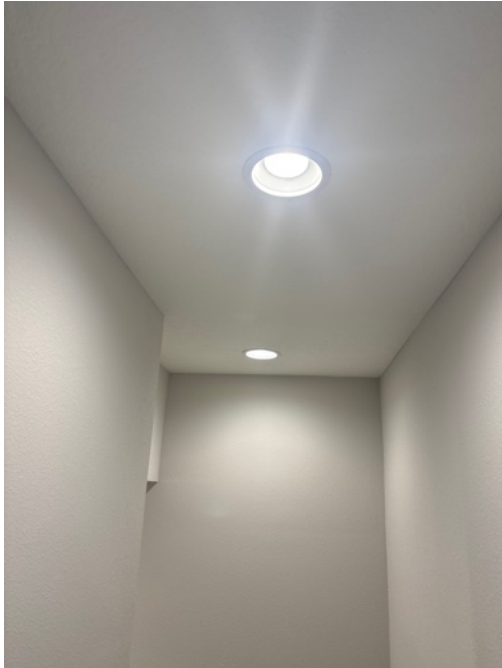
The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



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AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected





7.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.



7.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

7.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors

7.5) Interior Window Conditions

AS

Appears Serviceable.

7.6) Interior Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.



Electrical Conditions

7.7) Electrical Conditions

AS

Appears Serviceable.

7.8) Lighting Conditions

AS

Appears Serviceable.

7.9) Ceiling Fan Conditions

AS

Appears Serviceable.

7.10) Smoke Detector Conditions

AS

Appears Serviceable.



8 Bedroom 1

Walls - Ceilings - Floors

8.1) Wall Conditions

AS

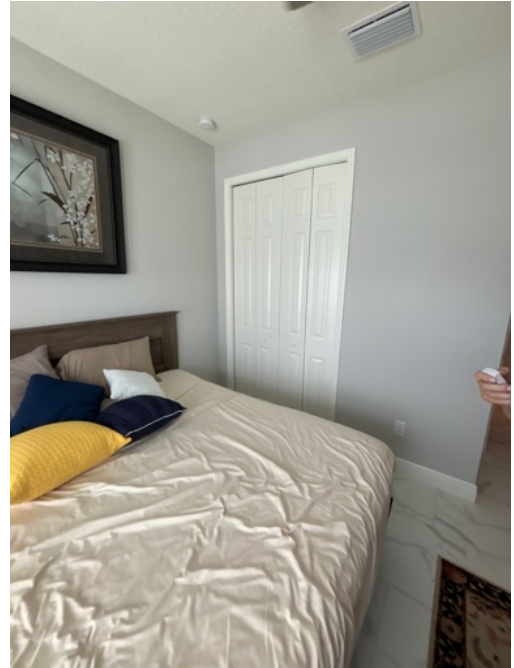
The general condition of the walls appeared to be in serviceable condition at the time of the inspection.

8.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.





8.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

8.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors

8.5) Interior Window Conditions

AS

The sample of windows tested were operational at the time of the inspection.

8.6) Interior Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions**8.7) Electrical Conditions**

AS

Appears Serviceable.

8.8) Lighting Conditions

AS

Ceiling fan light not operational.

8.9) Ceiling Fan Conditions

AS

The ceiling fan(s) were operational at the time of the inspection. Mounting hardware of fans, light fixtures, and / or chandeliers was not visible or accessible for inspection.

8.10) Smoke Detector Conditions

AS

Appears Serviceable.

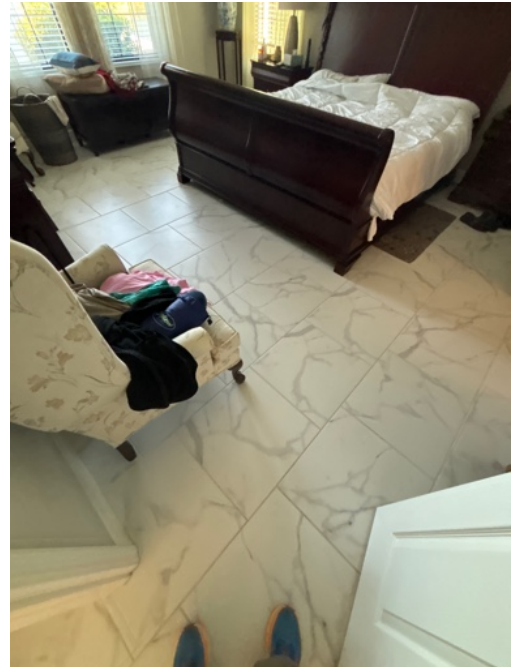
9 Bedroom 2

Walls - Ceilings - Floors

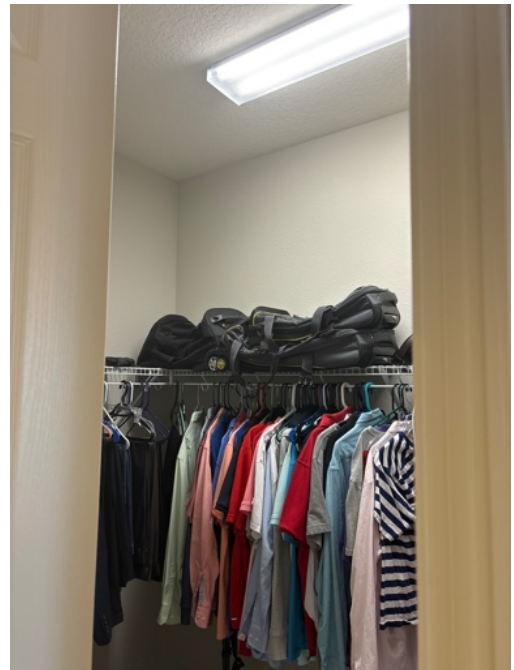
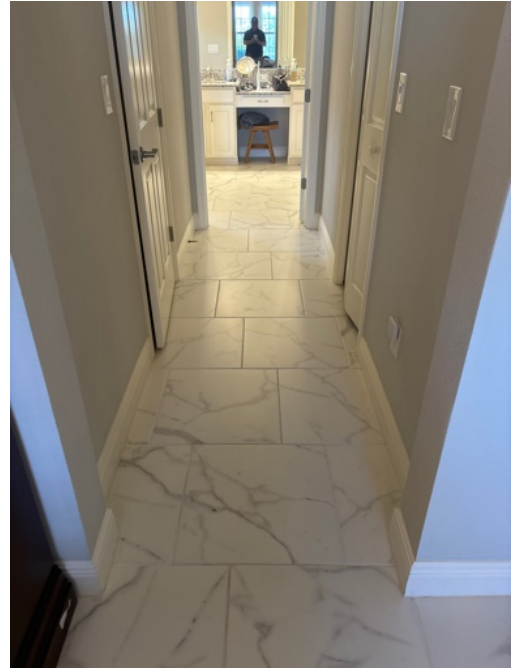
9.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



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**9.2) Ceiling Conditions**

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

9.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

9.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors**9.5) Interior Window Conditions**

AS

Appears Serviceable.

9.6) Interior Door Conditions

AS

Appears Serviceable.

Electrical Conditions**9.7) Electrical Conditions**

AS

Appears Serviceable.

9.8) Lighting Conditions

AS

Appears Serviceable.

9.9) Ceiling Fan Conditions

AS

The ceiling fan(s) were operational at the time of the inspection. Mounting hardware of fans, light fixtures, and / or chandeliers was not visible or accessible for inspection.

9.10) Smoke Detector Conditions

AS

Appears Serviceable.

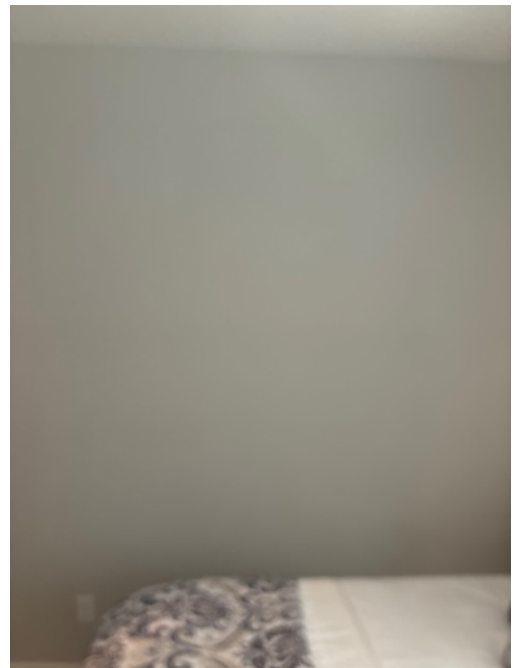
10 Bedroom 3

Walls - Ceilings - Floors

10.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.





10.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

10.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

10.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors**10.5) Interior Window Conditions**

AS

Appears Serviceable.

10.6) Interior Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions**10.7) Electrical Conditions**

AS

All outlets tested appeared to be in serviceable condition at the time of inspection.

10.8) Lighting Conditions

AS

Lighting conditions appeared to be in serviceable condition at the time of inspection.

10.9) Ceiling Fan Conditions

AS

The ceiling fan(s) were operational at the time of the inspection. Mounting hardware of fans, light fixtures, and / or chandeliers was not visible or accessible for inspection.

10.10) Smoke Detector Conditions

AS

Appears Serviceable.

11 Bedroom 4 and Bathroom 4

Walls - Ceilings - Floors

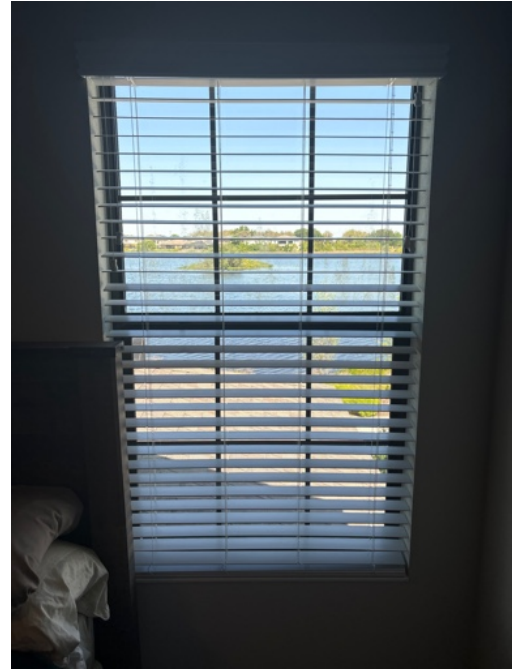
11.1) Wall Conditions

AS

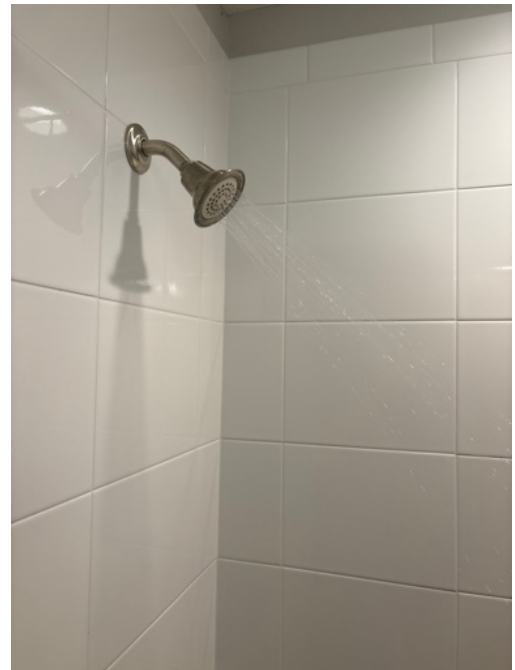
The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



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AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected





11.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

11.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

11.4) Heat Source Conditions

AS

Registers

Windows - Doors

11.5) Interior Window Conditions

AS

11.6) Interior Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions

11.7) Electrical Conditions

AS

All outlets tested appeared to be in serviceable condition at the time of inspection.

11.8) Lighting Conditions

AS

Lighting conditions appeared to be in serviceable condition at the time of inspection.

11.9) Ceiling Fan Conditions

AS

Appears Serviceable.

11.10) Smoke Detector Conditions

AS

Appears Serviceable.

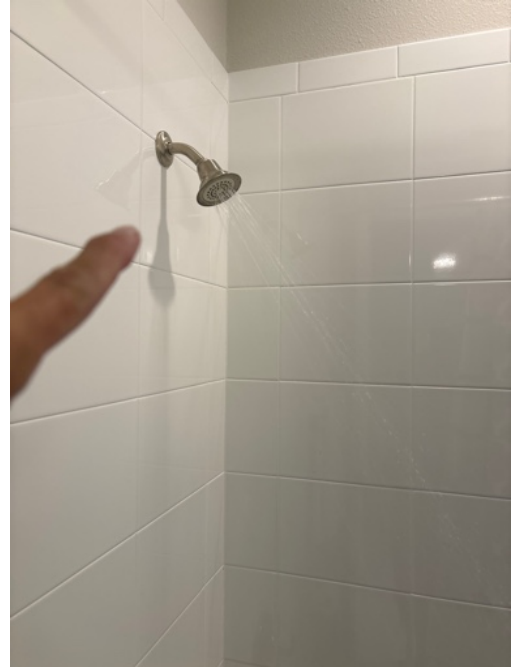
12 Bathroom 1

Walls - Ceilings - Floors

12.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



12.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

12.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

12.4) Heat Source Conditions

AS

Windows - Doors

12.5) Bathroom Window Conditions

AS

Appears Serviceable.

12.6) Bathroom Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions

12.7) Electrical Conditions

AS

12.8) Lighting Conditions

AS

12.9) Vent Fan Conditions

AS

Bathroom Sink

12.10) Counter - Cabinet Conditions

AS

Appears Serviceable.

12.11) Sink Conditions

AS

Shower - Tub - Toilet

12.12) Shower - Tub Conditions

AS

12.13) Toilet Conditions

AS

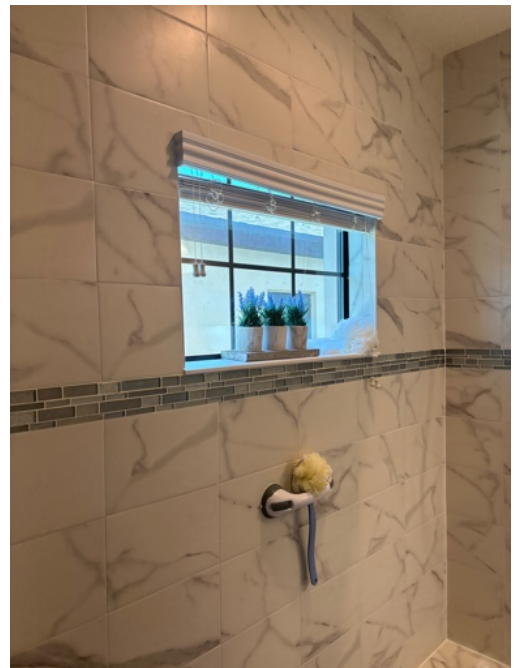
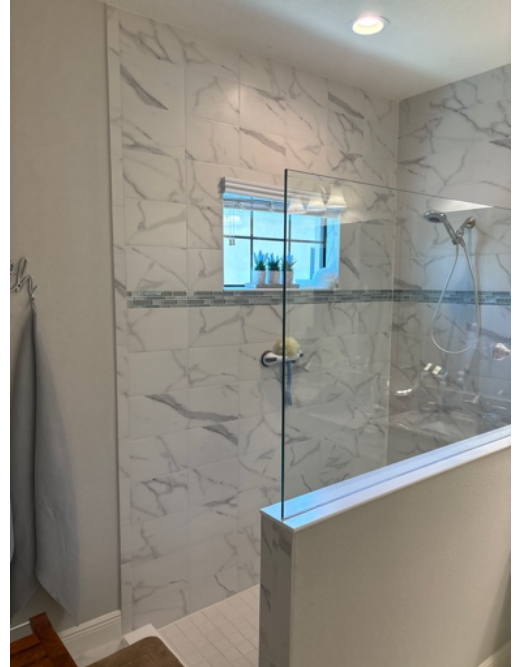
13 Bathroom 2

Walls - Ceilings - Floors

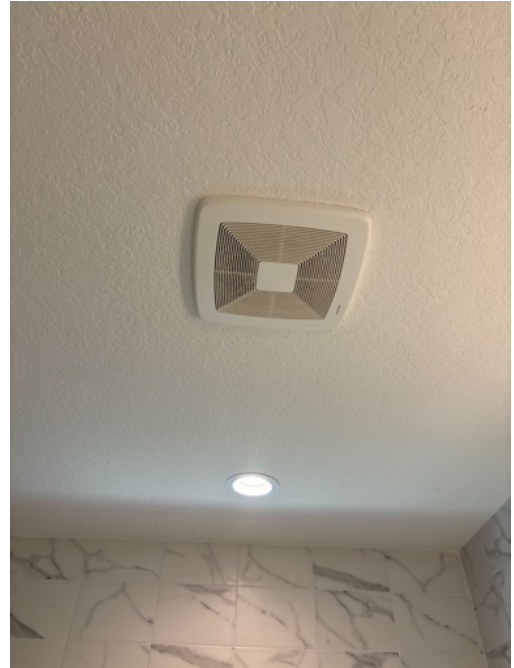
13.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



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**13.2) Ceiling Conditions**

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

13.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

13.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors**13.5) Bathroom Window Conditions**

AS

Appears Serviceable.

13.6) Bathroom Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions**13.7) Electrical Conditions**

AS

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

13.8) Lighting Conditions

AS

13.9) Vent Fan Conditions

AS

Bathroom Sink

13.10) Counter - Cabinet Conditions

AS

13.11) Sink Conditions

AS

Shower - Tub - Toilet

13.12) Shower - Tub Conditions

AS

13.13) Toilet Conditions

AS

14 Bathroom 3

Walls - Ceilings - Floors

14.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



14.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

14.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

14.4) Heat Source Conditions

AS

Appears Serviceable.

Windows - Doors**14.5) Bathroom Window Conditions**

AS

14.6) Bathroom Door Conditions

AS

Electrical Conditions**14.7) Electrical Conditions**

AS

14.8) Lighting Conditions

AS

14.9) Vent Fan Conditions

AS

Bathroom Sink**14.10) Counter - Cabinet Conditions**

AS

14.11) Sink Conditions

AS

Shower - Tub - Toilet**14.12) Shower - Tub Conditions**

AS

14.13) Toilet Conditions

AS

15 Kitchen

Walls - Ceilings - Floors

15.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



15.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

15.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



15.4) Heat Source Conditions

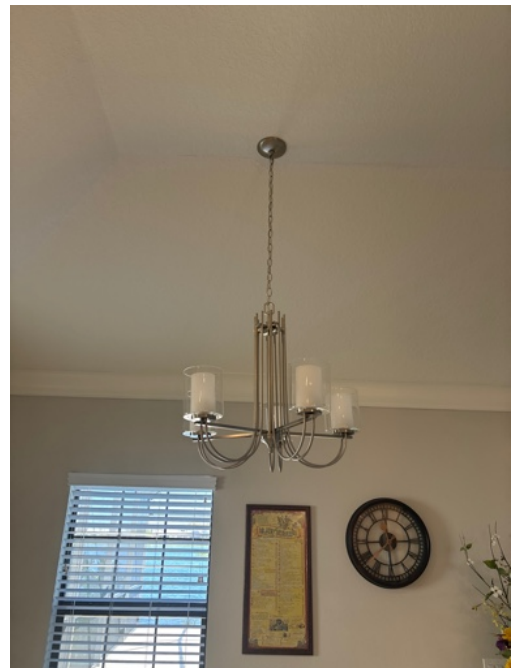
AS

Windows - Doors

15.5) Kitchen Window Conditions

AS

Appears Serviceable.



15.6) Kitchen Door Conditions

AS

Appears Serviceable.



Electrical Conditions

15.7) Electrical Conditions

AS



15.8) Lighting Conditions

AS



15.9) Ceiling Fan Conditions

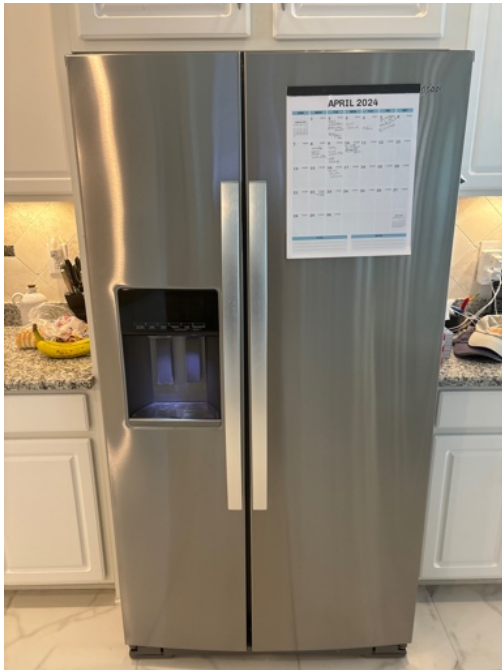
AS

Kitchen Sink - Counter tops - Cabinets

15.10) Counter Conditions

AS

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



15.11) Cabinet Conditions

AS



15.12) Sink Plumbing Conditions

AS

15.13) Garbage Disposal Condition

AS

Appliances



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

Stove - Range Type

15.14) Stove - Range Condition

AS

15.15) Hood Fan Conditions

AS



15.16) Dishwasher Conditions

AS

16 Garage - Laundry

Walls - Ceilings - Floors

Garage Type The garage is attached to the house.

16.1) Wall Conditions

AS



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



16.2) Ceiling Conditions

AS



16.3) Floor Conditions

AS

Minor cracking and/or settlement noted at the garage concrete floor surface. No immediate concern noted at this time. Suggest sealing cracks to reduce potential moisture penetrations.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

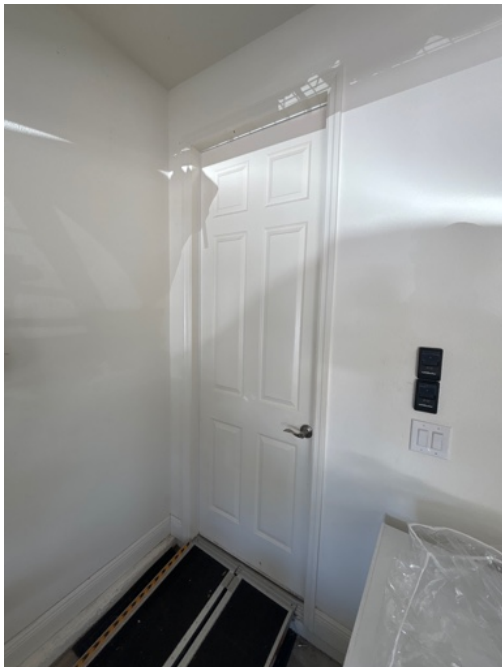


16.4) Window Conditions

AS

16.5) Door Conditions

AS



16.6) Vehicle Door Conditions

AS

16.7) Electrical Conditions

AS

16.8) Lighting Conditions

AS

Laundry Room

Location The laundry facilities are located in the laundry room.

16.9) Laundry Room Conditions

AS

Appears Serviceable.



17 Foundation - Crawl Space

Foundation

Foundation Type Slab on grade.

Foundation Material Concrete.

17.1) Foundation Conditions

AS

Appears Serviceable.